



# Neighborhood Pre-Construction Meeting Chico Urban Area Nitrate Compliance Plan

**Project Area 1 N**  
**Esplanade**  
**Lassen Avenue**  
**Cohasset Road**

# Welcome – Tonight's Format

- Brief Background and History
- Overview of Project
- Project Schedule
- Financing
- Questions and Discussion
- Where to Get Information and Assistance

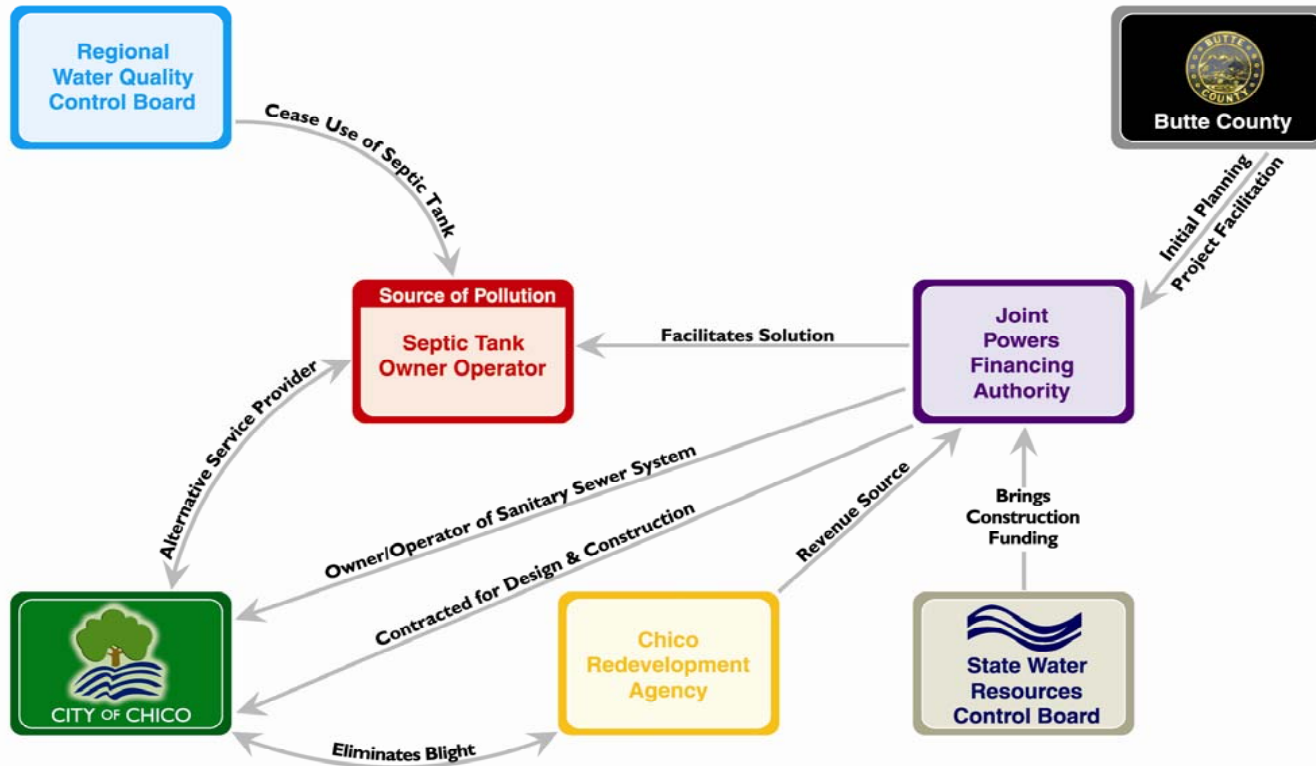
# Purpose of Tonight's Meeting

- To leave with a better understanding of
  - Construction scheduling
  - Financing alternatives
  - Resources to stakeholders
  - Why we need to do this work

# The Driving Force – Why We're Installing Sewers

- Prohibition Order No. 90-126 (the Order)
  - 1985 and 1988 – Nitrate Action Plan and County Service Area 114
  - 1990: State Prohibition Order No. 90-126
- Regional Water Quality Control Board
  - Role: To protect the waters of the State
- Chico Urban Area Nitrate Compliance Plan
  - 2000 - Butte County's formal response to the Order

# Stakeholder Relationships



# Summary of Local Waste Water Plumbing System

- Sewer Mains
  - The pipes in front of your property
- Laterals
  - The pipe between the main and your house
- Lift Stations and Force Mains
- Sewer Trunk Lines
  - The large pipes that carry sewage to the Plant
- Water Pollution Control Plant
  - Located about 8 miles southwest of Chico
  - Expanding capacity from 9 to 12 Million Gallons per Day
  - Construction to be completed by Fall 2009

## Pre-Construction Efforts Thus Far

- City prepared construction bid documents
  - Included: sewer designs & plans, traffic control, location of utilities, trench backfill, etc.
- Bids released August 14, 2008
  - Through contractors exchanges, public notice, etc..
- City sent letters to property owners
  - Requested input regarding placement of sewer laterals
- Bids opened October 15-17, 2008
- City reviewed bid proposals
  - Re: qualifications, cost, eligibility, etc.
- Notice to Proceed: Pending

# Project Area 1 N Specifics

- Three “Projects”
  - Esplanade
  - East Lassen Avenue
  - Cohasset Road
- To provide sewer pipe for up to 376 connections
- Estimated Start: January 2009
- Est. Completion: 120 days

# Esplanade

- W. Lassen Avenue
  - On W. Lassen from Camden Court to Esplanade
- Esplanade (i.e. between Lassen and Shasta)
  - Esplanade, E. Shasta Avenue, Monticello Lane, St. Michael Court, Bordeaux Court
- E. Lassen Avenue (between Esplanade & Hwy 99)
  - San Jose Street, Rafael Street, Monterey Street, Franciscan Way, Capistrano Place, Carmel Place, Santos Way, Mefford Way
- Sewer connections available = 206 laterals
- Infrastructure & Capacity Fee Cost = \$2.59 M

## E. Lassen Avenue

- E. Lassen Ave between Godman Ave & Burnap Ave
  - North: Godman Avenue, Villa Drive, Morgan Drive, San Gabriel Drive, Mayfair Drive, Morseman Avenue, Alynn Way, Jolyn Way, Mort Lane, Burnap Avenue
  - South: El Paso Way, White Avenue, Scenic Lane
- Sewer connections available = 134 laterals
- Infrastructure & Capacity Fee Cost = \$1.55 M

# Cohasset Road

- Cohasset Road (west)
  - Cameo Drive, Coral Court, Frontier Circle
- Sewer connections available = 36 laterals
- Infrastructure & Capacity Fee Cost = \$490,000

# Sewer Construction – Nuts & Bolts

- Traffic control set-up daily
  - (Utilities, property owners, buses, emergency responders, etc., will be contacted prior)
- Trenching for sewer mains
- Installation of mains, laterals and facilities
  - (i.e., manholes, lift stations, etc.)
- Backfilling of trenches
- Testing of sewer lines
- Final inspections

# Steps to Take after Sewer is Available

1. Sewer Service application fee
  - Contact City of Chico
2. Septic tank decommissioning
  - Contact Butte County Environmental Health
3. For Plumbing Permits
  - Contact City or County Building Department
4. For work done on private property
  - Contact local contractor(s) for on-site work
  - Or you can do some work yourself

# Septic Tank Abandonment – Nuts & Bolts

- Actual process takes about 2 days
- Preliminary Steps
  - Contractor meets with property owner on-site
  - Takes measurements & locates tank for cost estimate
  - Contractor files for necessary permits
  - Owner informs Contractor of underground utilities (i.e. sprinklers, etc.)
  - Contractor contacts locator service to verify other underground utilities
  - Phone, water, cable, gas, etc., are marked

# Day 1 – Private Sewer Connection

- Contractor locates public sewer lateral at the property line and trenches to house
- Contractor installs sewer line from the public sewer lateral and connects to the house (trench remains open)
- Contractor schedules inspection with Building Department for approval

## Day 2 – Private Sewer Connection

- Upon approval from inspector, Contractor fills trench (with existing dirt)
- Contractor pumps septic tank & punctures tank bottom
- Septic tank filled with either slurry or pea-gravel
- Contractor schedules inspection with County Health
- Upon approval
  - Contractor backfills holes & does site clean-up

# Variables Affecting Costs

- Size of septic tank (1,000 gallon or larger?)
- Location of septic tank
  - If less than 5 ft from structure, slurry fill required
  - If more than 5 ft from structure, pea-gravel is OK
- Existing landscaping, fencing, size of yard, equipment access
- Amount of pipe for sewer laterals
- Removal of old tanks and leach lines will add to cost

# Contractor – Turn-Key Operation

- Cost range could be \$4,000 to \$6,000 depending on variables (could be less)
- Cost includes:
  - Permits from County Health and Building Department
  - Sewer lateral installation & connection
  - Coordination with inspectors
  - Backfilling of trench
  - Septic tank pumping and decommissioning
  - General site clean-up

# Do I Hire a Contractor or Do it Myself?

- To Hire a General Contractor
  - Search the Yellow Pages
  - “Contractors – General Engineering and Plumbing” or “Septic”
- A Licensed General Contractor
  - Has permitting and construction experience
  - Has equipment, insurance and bonds, etc.
  - Verify contractor’s license via the internet at [www.cslb.ca.gov](http://www.cslb.ca.gov) or by calling 1-800-321-2752
- For Do it Yourselfers
  - All work MUST meet County Health and local Building Department requirements
  - Still need a Contractor to empty and render the septic tank

# What the State Revolving Fund Loan Will Cover

- Design, construction and installation of sewer mains
- Installation of sewer laterals to private property line
- Repair of backfill trench
- Repair of curb, gutter and sidewalks to match pre-existing conditions
- City Water Pollution Control Plant capacity fees

Funding for this project has been provided in full or in part through an agreement with the State Water Resources Control Board. The contents of this document do not necessarily reflect the views and policies of the State Water Resources Control Board, nor does mention of trade names or commercial products constitute endorsement or recommendation for use. (Gov. Code 7550, 40 CFR 31.20)

# Project Financing Review for Project Area 1N

- Public Costs – Paid by Joint Powers Financing Authority
  - Construction: Sewer mains and sewer laterals within public Right-of-Way
  - Portion of City Fees - Water Pollution Control Plant capacity fee
- Private Costs – Paid by Property Owner
  - Decommission septic tank, laterals installed on private property, home plumbing, landscape repair if necessary
  - Estimated cost to property owner = \$4,000 to \$6,000 per unit
- Other Costs – Paid by Property Owner
  - City Sewer Trunk Line Capacity Fee = \$1,693 per unit
  - Lift Station Fee = Either \$102 (E. Lassen) or \$468 per unit (Esplanade)
  - Trunk & Lift Station fee may be financed with the City
  - Monthly sewer fees after connection to sewer

# What's Not Included

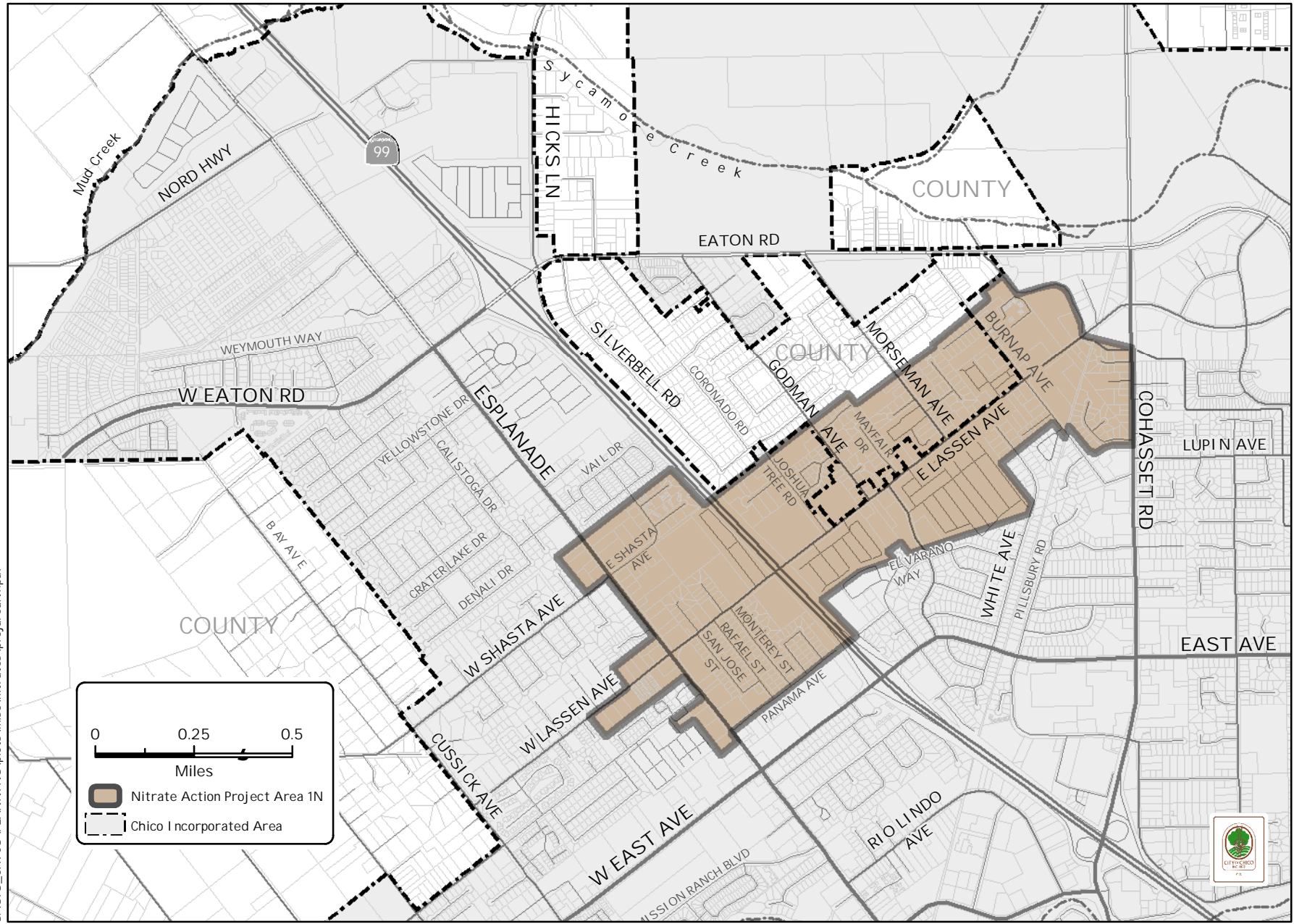
- Storm drains and drainage systems
- Road improvements
  - Only repair of backfill trench
- New curb, gutter & sidewalks
  - To match pre-existing conditions
- Installation of sewer laterals on private property or septic tank decommissioning
  - This is “on-site” work, responsibility of property owner
- Sewer trunk line capacity fees
  - Property owner can finance with the City

# Financial Assistance


- Est. Cost range: \$4,000 to \$6,000 per unit
- County is exploring options for:
  - Loans
    - County could be the loan program administrator
    - Must value collateral and ability for debtor to repay a loan
  - Grants (competitive with specific requirements)
    - Must meet Target Income Group
- City of Chico Programs
  - Sewer Fees in Lieu (i.e. finance sewer trunk capacity and lift station fee with City)
- Home Equity Loan


# For More Information

- County of Butte
  - Chief Administrative Office: 538-7631
  - County Environmental Health: 538-7281
  - County Building Division: 538-7601
  - County of Butte web site: [www.buttecounty.net](http://www.buttecounty.net)
- City of Chico
  - City Building Department – 879-6700
  - City Engineering Division – 879-6900
  - City of Chico web site: [www.ci.chico.ca.us](http://www.ci.chico.ca.us)



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Miles

 Nitrate Action Project Area 1N

 Chico Incorporated Area



**BUTTE COUNTY  
FREQUENTLY ASKED QUESTIONS  
NITRATE COMPLIANCE PLAN**

**Public Health Department  
Environmental Health Division**

**Septic Tank Destruction Requirements**

- 1. *What is required regarding my existing septic tank(s) when connecting to the City of Chico sewer system?***

Answer: Depending on the circumstances explained below, the tank(s) must be destroyed under a permit issued by the Butte County Environmental Health Division.

- 2. *How do I obtain a permit to destroy my septic tank(s)?***

Answer: Septic tank destruction permits are obtained by completing a permit application form.

Application forms are available on the Butte County Public Health website at [www.buttecounty.net/publichealth/environmental/land.html](http://www.buttecounty.net/publichealth/environmental/land.html) and at the Environmental Health Division at 202 Mira Loma, Oroville, CA 95965 (Telephone: (530) 538-7281).

The completed application form is submitted along with the required fee and a scale or fully-dimensioned site plan which indicates the location of current or known future structures and the existing septic tank(s). The septic tank destruction permit fee is \$107.30 as of October 2008. Fees are reviewed annually and are subject to future adjustments.

- 3. *What is the method of tank destruction?***

Answer: The method of destruction depends on the distance between the tank and any current or known future structure.

- a. *If the tank is less than 5' from a current or planned future structure:***

1. Pump the tank empty by a registered septic tank pumper.

2. Fill the empty tank with, minimally, 2-sack cement slurry. Allowable fill includes sand or pea gravel, if the tank bottom has been broken such that the tank is unable to hold water.

**(OR)**

1. Completely remove the tank, back-fill with soil that must be compacted to engineering standards, and provide a report of soil compaction to the Environmental Health Division.

***b. If the tank is greater than 5' from a current or planned future structure:***

1. Pump the tank empty by a registered septic tank pumper.
2. Break the bottom of the tank such that the tank is unable to hold water.
3. Fill the empty tank with clean, self-compacting soil, sand, or pea gravel. If the tank is filled with 2-sack slurry, breaking the bottom is not required.

**(OR)**

1. Completely remove the tank and back-fill with clean self-compacting soil, sand, or pea-gravel.

***4. Do I need an inspection of the destroyed tank(s)?***

Answer: Yes. Please call the Butte County Environmental Health Division at (530) 538-7281 to schedule an inspection of the destroyed tank. When destruction includes breaking the tank bottom, contact the inspector prior to back-filling the tank to allow an inspection of the broken bottom.

After completing the tank destruction, fill-out a "Declaration of Destruction" form that is provided with the permit and submit to the inspector at the final inspection.

***5. Who can install the new sewer lateral? Is a permit required?***

Answer: It is recommended that a plumbing or septic system contractor install the new sewer lateral.

Permit requirements and details of lateral installation can be obtained from the City of Chico - Sewer Engineering Division at 411 Main Street, Chico, CA 95927 (Telephone: (530) 879-6959).

**6. Do I need to remove the old leach lines when connecting to sewer?**

Answer: No. Normally the leach lines are simply abandoned and left in the ground.

**NOTE:** The City will not finalize a new sewer connection project until after the septic tank destruction has been approved and reported to the City by the Butte County Environmental Health Division.

**7. How do I find a contractor to do the work and how do I verify their qualifications?**

Answer: Search the Yellow Pages listings for either “Contractors - General Engineering and Plumbing” or “Septic.” A licensed Contractor has permitting and construction experience, equipment, insurance and the appropriate bonds to do the work. You can verify a Contractor’s license by accessing the Contractor State License Board at either [www.cslb.ca.gov](http://www.cslb.ca.gov) or by calling 1-800-321-2752. Also ask the contractor for references.

**8. Can I do any of the work myself?**

Answer: Some work can be done by do-it-yourself property owners. However, all work must meet Butte County Environmental Health and Building Division requirements and pass inspections prior to connecting to sewer. Hiring a registered septic tank pumper is still necessary to empty and render the septic tank.

**9. How long could the process take to install the sewer laterals from my home and to decommission the septic tank?**

Answer: The actual field work could take at least two days.

Preliminary steps: Meet with a contractor; take measurements; review locations to develop a cost estimate; file for necessary permits; and inform the Contractor of specific concerns such as location of sprinklers, wells, etc. The Contractor will contact a locator service to verify other underground utilities such as cable, telephone, water lines, and gas. Underground utilities will be marked prior to digging.

Day 1 - The first day of actual construction may include: Locating the public sewer lateral at the property line and trenching to the house; installing the sewer line from the public sewer lateral; and connecting it to the house. At this point, the trench remains open and the house is not yet connected to sewer, although lines are in place. The Contractor will schedule an inspection with the County Building Division to inspect the sewer lateral.

Day 2 – Upon approval of the Building Inspector, the Contractor may proceed to have the septic tank pumped by a registered pumper and destroy it pursuant to County Environmental Health’s requirements. The destroyed tank will need to be inspected by County Environmental Health. Upon approval, the Contractor will connect the new sewer line, backfill open trenches or holes, and do site clean-up.

**10. How much will it cost to decommission my septic tank?**

Answer: Based upon the County’s research, the estimated cost to decommission a septic tank and connect new sewer lines to the house could range from \$4,000 to \$6,000 per unit. Variables affecting the cost include:

- Size of septic tank (1,000 gallons or larger);
- Location of septic tank in relation to the house;
- Existing landscaping, fencing, size of yard, and equipment access;
- Amount of pipe for sewer lateral; and
- If removal of old tanks and leach lines is desired by the property owner, this will add to the cost.

**Development Services Department  
Building and Planning Divisions**

Residents and property owners in the unincorporated areas of the Nitrate Compliance Plan may have questions regarding the extension of City of Chico sewer lines.

The unincorporated areas are outside the City of Chico’s boundaries and are within Butte County’s jurisdiction. The following are a few questions and answers that may assist residents in the affected areas.

Please contact our office directly at (530) 538-7601 if there are any questions or clarifications needed relating to the building permit process or zoning regulations.

**Building Division Requirements**

***1. Do I need a building permit to attach the existing sewer line from my house to the street?***

Answer: Yes. A building permit from the Butte County Building Division is required for the new sewer line to connect your house to the sewer main in the street.

**2. Why do I need a building permit?**

Answer: Since you will be required to disconnect and destroy your current septic tank, you will need to bypass your existing septic system with a new sewer line from your home to the sewer main.

The building permit for the sewer line provides for inspection of this connection from your home to the property line closest to the point of connection to the new sewer main.

**3. What is the cost for a building permit for a sewer line?**

Answer: \$59.

**4. How do I obtain a building permit?**

Answer: Butte County building permits may be obtained on line at <http://www.buttecounty.net/dds/announcements/2008%20Announcements/OnlinePaymentAnouncementrev%27d51608.pdf> or in our office at 7 County Center Drive, Oroville, CA 95965 (Telephone: (530) 538-7601).

**Planning Division Requirements**

**5. Can my property be split if I connect to sewer?**

Answer: The lot split, also referred to as a subdivision or parcel map, is a discretionary process. The lot split can be approved or denied.

Sewage disposal, whether through a sewer system or on-site septic, is one of many factors evaluated in a proposed lot split. Minimum lot sizes are regulated by the zoning and general plan designations of the property.

Please contact the Butte County Planning Division at (530) 538-7601 regarding zoning and general plan questions on your property if you are located in the unincorporated area. For additional information, please see our website at <http://www.buttecounty.net/dds>.

**Chico Urban Area Nitrate Compliance Plan – Project Area 1N  
(Esplanade, Lassen Avenue and Cohasset Road areas)  
Sewer Construction Information Request Form**

Please complete and return this form at your earliest convenience to:

Michael Spata, Assistant CAO  
Butte County Administrative Office  
25 County Center Drive, Suite 200  
Oroville, CA 95965-3380  
(530) 538-7631

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City/Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

I am a (circle one): Residential property owner, residential tenant, business owner, business tenant.

Preferred method of contact (circle one): Telephone or e-mail

I would like information regarding the following items (circle as many items as you wish):

- 1) Construction scheduling;
- 2) City of Chico sewer service application form;
- 3) City of Chico sewer fees;
- 4) City of Chico building permit information;
- 5) County of Butte building permit information;
- 6) County of Butte septic tank abandonment procedures, costs, permit information
- 7) Financial assistance:
  - a) To decommission septic tank and install sewer lateral on private property
  - b) Self-certification income report form (to determine eligibility for grant assistance)
- 8) Other: \_\_\_\_\_

[Use back for more comments if necessary.]